

James V. Fitzgerald ASBS Pollution Reduction Program

Upland BMPs: LID Projects

Approved by Selection Committee June 9, 2014

LID Site #7 - Cooperator ID#: 202.0813.02

Site Information:

Property is near the northern boundary of Dean Creek (aka Sunshine Valley Creek) near the drainage divide with Montara Creek. The property contains a residence, shed, an uncovered chicken coop area, and adjacent compost pile. Stormwater runs off the property onto neighbors land and then into a roadside ditch.

Integrated Project BMPs:

- Install a permanent roof structure over the chicken coop area to keep feces separated from stormwater. The compost pile will also be moved under this roof
- Construct a 22 x10 foot rain garden to infiltrate runoff from the chicken coop roof (350 square feet), asphalt shed roof (210 square feet), and property.

Treatment Description:

A new roof structure over the chicken coop area isolates rain water from chicken feces. Roof runoff from this new roof and the adjacent storage shed is directed to a rain garden through downspouts and drainage pipes. The rain garden provides infiltration as primary treatment and will overflow into a drainage pipe that outlets to the public road.

Stormwater Capture/Treatment:

Rain Garden System: 80%

PROJECT 202.0813.02

WATER QUALITY IMPROVEMENT PLAN

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH FINAL DESIGN DRAWINGS AND ATTACHED SPECIFICATIONS: 02 40 10 DEMOLITION, 03 30 10 CONCRETE, 31 00 10 FINE GRADING, 32 30 20 GRAVEL EROSION PROTECTION, 32 30 60 RAIN GARDEN, 33 40 00 STORM DRAINAGE UTILITIES.
2. SAN MATEO RESOURCE CONSERVATION DISTRICT SHALL BE RESPONSIBLE FOR OBTAINING ANY NEEDED PERMITS, EASEMENTS, AND/OR RIGHT-OF-WAYS, AND MEETING ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES AND SHALL CALL NORTHERN CALIFORNIA UNDERGROUND SERVICE ALERT AT '811' AT LEAST 3 DAYS PRIOR TO START OF CONSTRUCTION. SPECIAL SAFETY PRECAUTIONS SHALL BE TAKEN WHEN WORKING IN THE VICINITY OF GAS, OIL, AND ELECTRICAL LINES.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING LOCATIONS OF TEMPORARY ACCESS, STAGING AREAS, AND OTHER FACILITIES TO PRECONSTRUCTION CONDITION. DISTURBANCE OF EXISTING STRUCTURES AND VEGETATION MUST BE AVOIDED OR MINIMIZED TO THE FULLEST POSSIBLE EXTENT.
5. LANDOWNER SHALL BE RESPONSIBLE FOR THE SUCCESSFUL ESTABLISHMENT AND MAINTENANCE OF VEGETATION PRACTICES.
6. CONTRACTOR SHALL ENSURE THAT THE USE AND/OR STORAGE OF PETROLEUM POWERED EQUIPMENT SHALL BE ACCOMPLISHED IN A MANNER TO PREVENT THE POTENTIAL RELEASE OF PETROLEUM MATERIALS INTO WATERS OF THE STATE.
7. CAL-OSHA SAFETY REQUIREMENTS SHALL BE IN EFFECT DURING ALL CONSTRUCTION.
8. CONTACT THE SAN MATEO RESOURCE CONSERVATION DISTRICT AT LEAST 7 DAYS PRIOR TO START OF CONSTRUCTION. PHONE: (650) 726-4660.

AS-BUILT NOTES

1. THIS AS-BUILT PLAN REPRESENTS THE STATUS OF THE PROJECT AS INSTALLED IN THE FIELD. IT IS NOT A CERTIFICATION OF THE COMPLETENESS OF THE WORK OR THE CONSISTENCY OF THE WORK WITH THE ORIGINAL DESIGN DOCUMENTS. IN SOME CASES DEVIATIONS FROM THE ORIGINAL DESIGN DOCUMENTS MAY LEAD TO OPERATIONS OR MAINTENANCE ISSUES. THE ENGINEER ACCEPTS NO LIABILITY FOR FAILURES OR PROBLEMS ARISING FROM DEVIATIONS FROM THE ORIGINAL DESIGN DOCUMENTS.

SHEET INDEX

1. TITLE SHEET AND GENERAL NOTES
2. LAYOUT PLAN
3. CONSTRUCTION DETAILS
4. CONSTRUCTION DETAILS
5. CONSTRUCTION DETAILS

VICINITY MAP

NOT TO SCALE



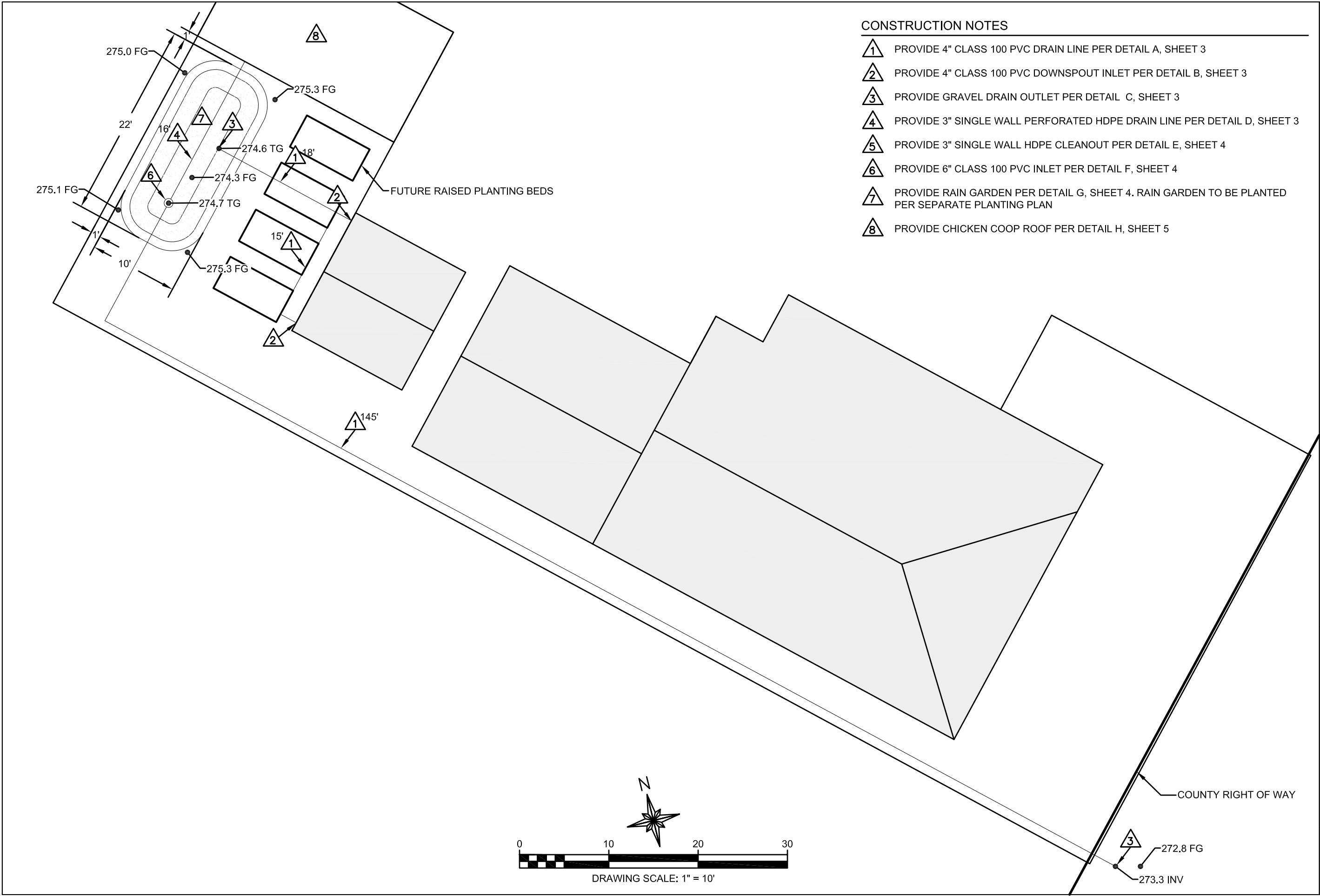
AS-BUILT

DRAWN BY: _____
DESIGNED BY: _____
APPROVED BY: _____

PROJECT 202.0813.02
TITLE SHEET & GENERAL NOTES

PLAN DATE
2/26/16

SHEET
01 OF 05



- CONSTRUCTION NOTES
- 1 PROVIDE 4" CLASS 100 PVC DRAIN LINE PER DETAIL A, SHEET 3
 - 2 PROVIDE 4" CLASS 100 PVC DOWNSPOUT INLET PER DETAIL B, SHEET 3
 - 3 PROVIDE GRAVEL DRAIN OUTLET PER DETAIL C, SHEET 3
 - 4 PROVIDE 3" SINGLE WALL PERFORATED HDPE DRAIN LINE PER DETAIL D, SHEET 3
 - 5 PROVIDE 3" SINGLE WALL HDPE CLEANOUT PER DETAIL E, SHEET 4
 - 6 PROVIDE 6" CLASS 100 PVC INLET PER DETAIL F, SHEET 4
 - 7 PROVIDE RAIN GARDEN PER DETAIL G, SHEET 4. RAIN GARDEN TO BE PLANTED PER SEPARATE PLANTING PLAN
 - 8 PROVIDE CHICKEN COOP ROOF PER DETAIL H, SHEET 5

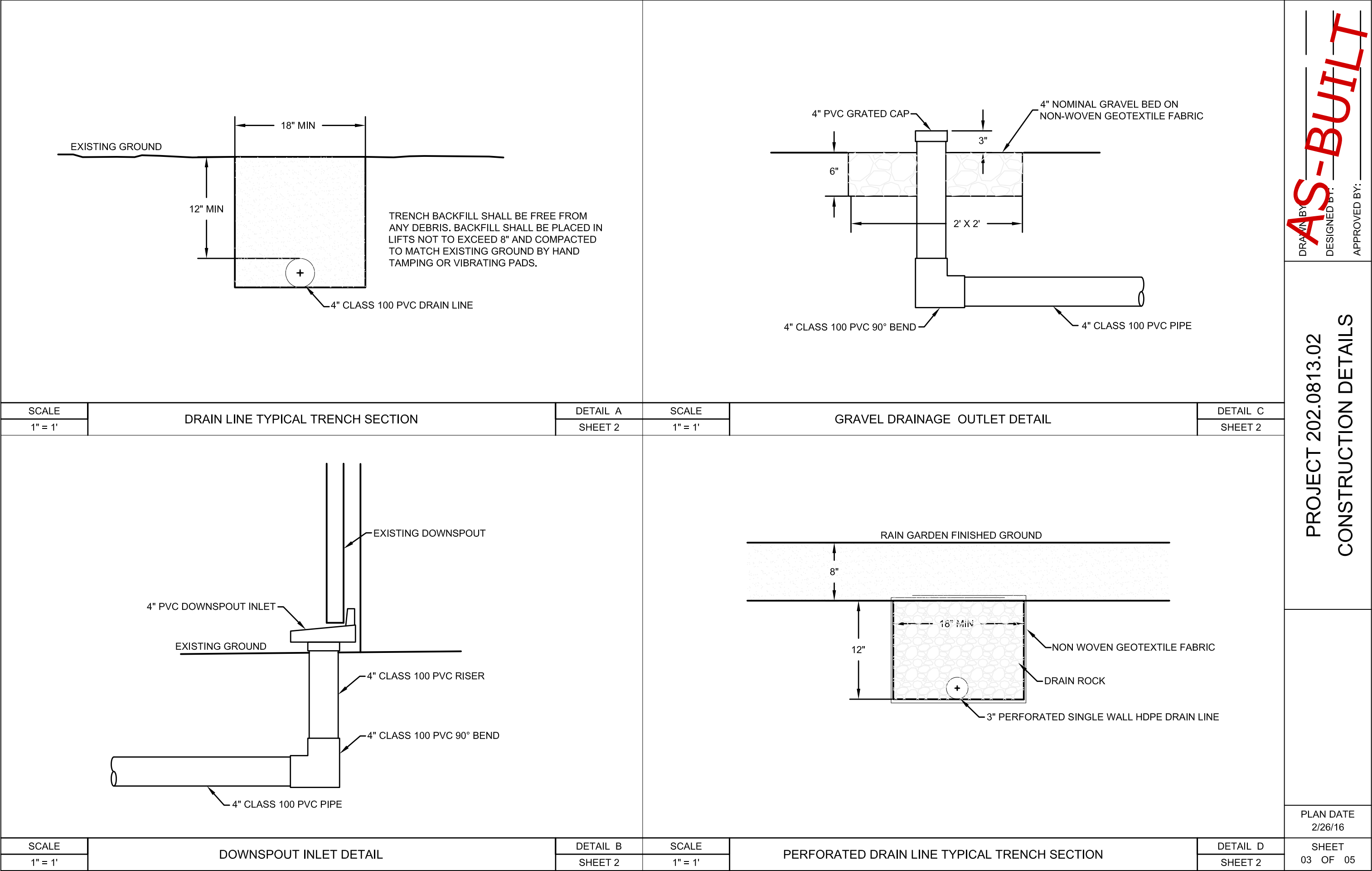
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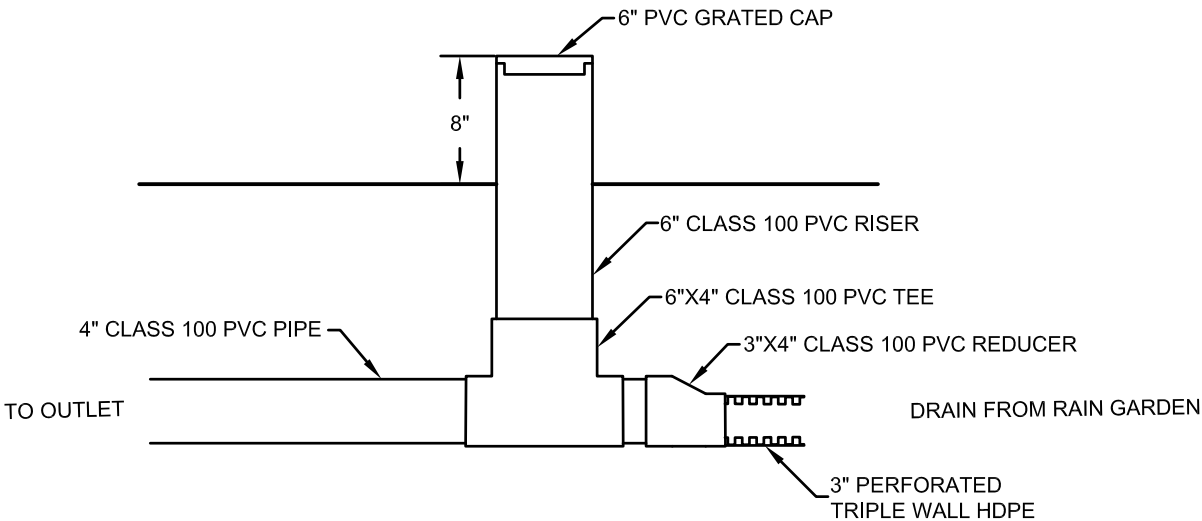
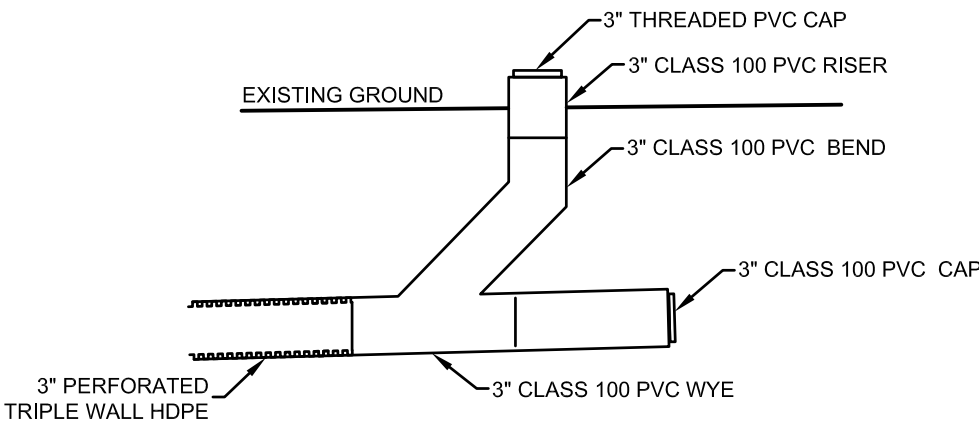
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PROJECT 202.0813.02
LAYOUT PLAN

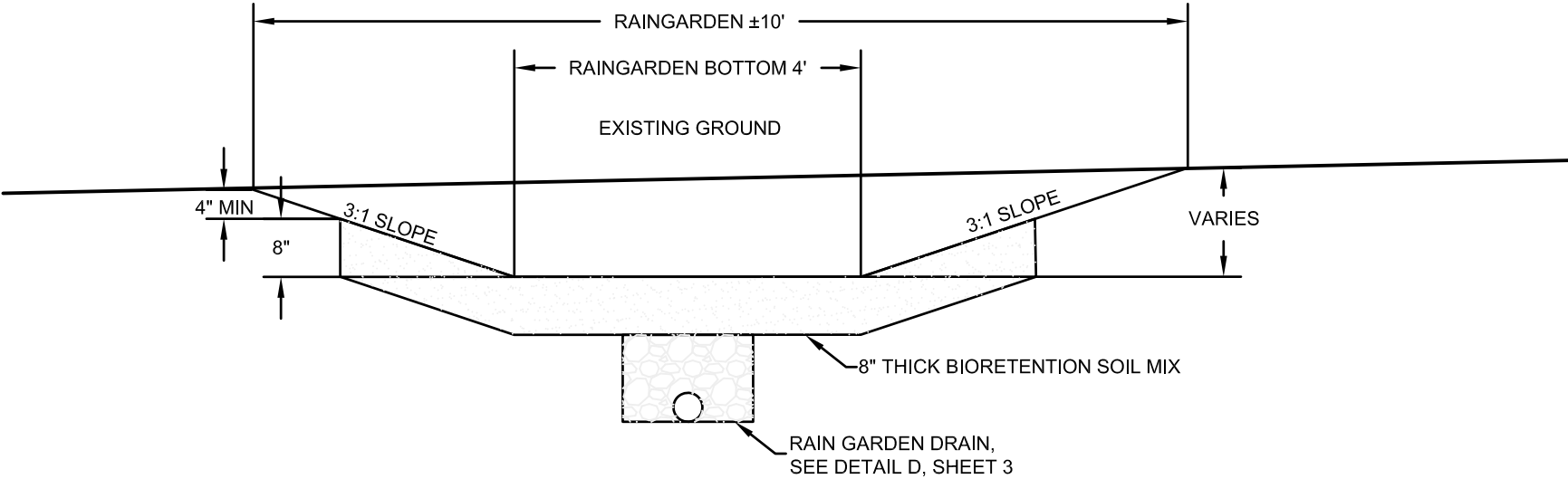
PLAN DATE
2/26/16

SHEET
02 OF 05





SCALE	PERFORATED DRAIN LINE CLEANOUT DETAIL	DETAIL E	SCALE	DRAIN INLET DETAIL	DETAIL F
1" = 1'		SHEET 2	1" = 1'		SHEET 2



SCALE	TYPICAL RAIN GARDEN SECTION	DETAIL G
1" = 2'		SHEET 2

AS-BUILT

DRAWN BY: DESIGNED BY: APPROVED BY:

PROJECT 202.0813.02
CONSTRUCTION DETAILS

PLAN DATE
2/26/16

SHEET
04 OF 05

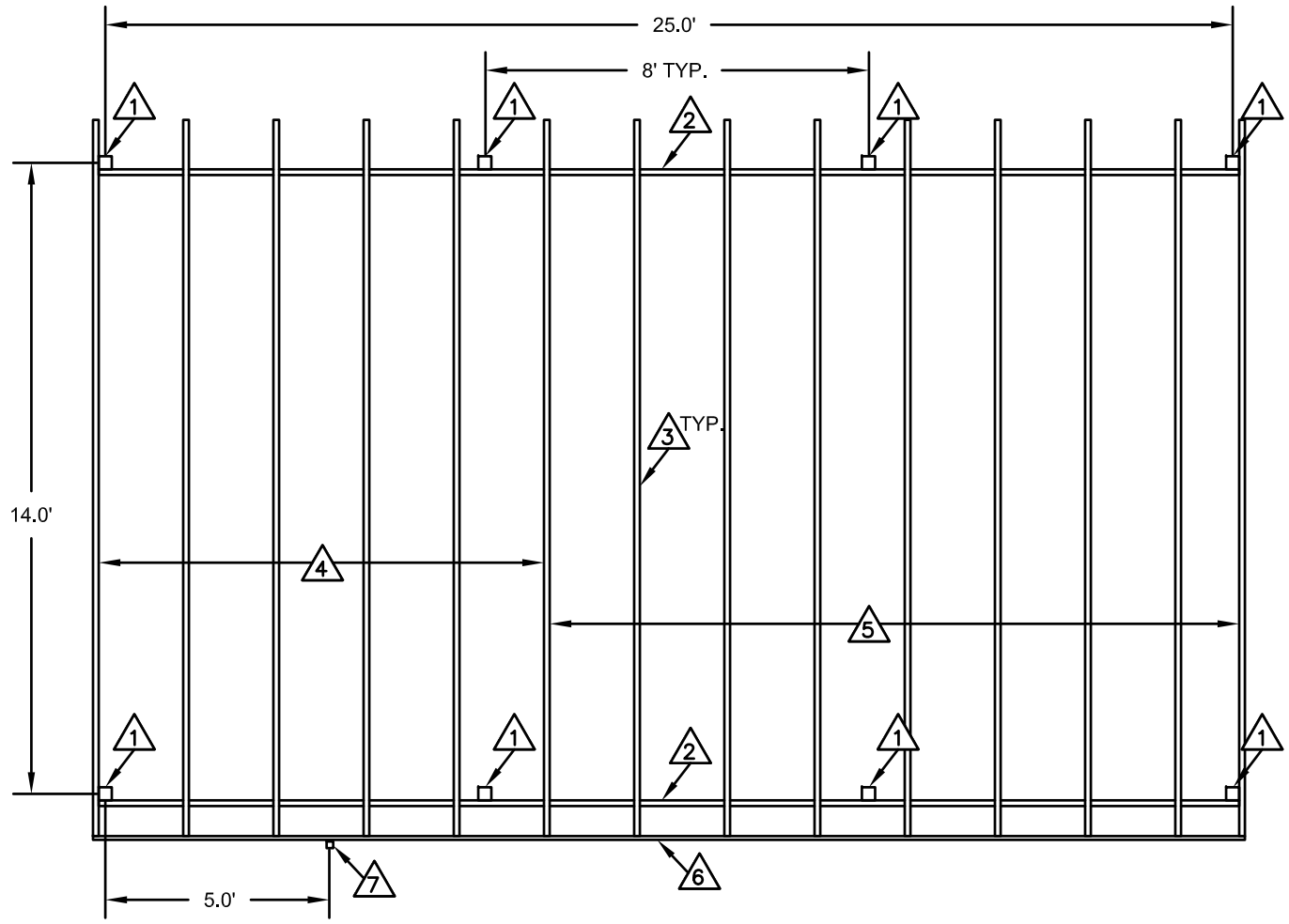
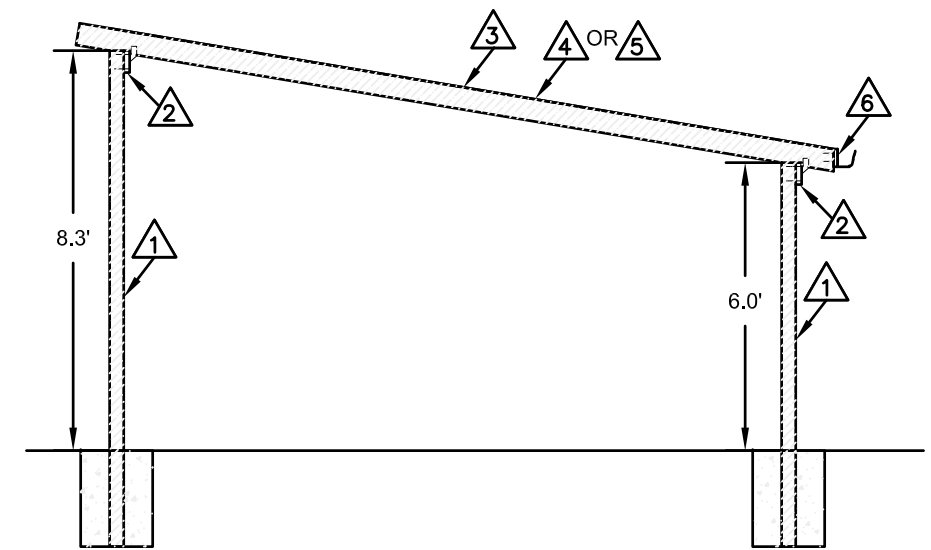
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DESIGNED BY: _____
APPROVED BY: _____

PROJECT 202.0813.02
ROOF PLAN AND PROFILE

PLAN DATE
2/26/16

SHEET
05 OF 05



CONSTRUCTION NOTES

- 1 PROVIDE REDWOOD 4X4 COLUMN SET IN 2' DEEP BY 18" DIAMETER CONCRETE FOOTING
- 2 PROVIDE REDWOOD 4X8 HEADER BEAM SECURED WITH SIMPSON CCQ44SDS2.5 COLUMN CAP
- 3 PROVIDE REDWOOD 2X6 RAFTERS AT 24" SPACING. SECURE WITH SIMPSON H3 HURRICANE TIES OR APPROVED EQUAL AT EACH HEADER BEAM.
- 4 PROVIDE 4X8 SOLID CORRUGATED PLASTIC ROOF SECURED WITH GASKETED 1" SCREWS. SCREWS SHALL BE SPACED AT 8" ALONG EDGES AND 16" IN FIELD.
- 5 PROVIDE 4X8 CLEAR CORRUGATED PLASTIC ROOF SECURED WITH GASKETED 1" SCREWS. SCREWS SHALL BE SPACED AT 8" ALONG EDGES AND 16" IN FIELD.
- 6 PROVIDE REDWOOD 1X4 FASCIA BOARD AND 4"K-STYLE GUTTER OR APPROVED EQUAL. GUTTER TO BE SET TO A FALL OF 1 INCH PER 40 FEET
- 7 PROVIDE 2" DOWNSPOUT OUTLET TO STABILIZED LOCATION

